

Report of the Head of Planning & Enforcement

Address 52 CROSIER WAY RUISLIP

Development: Conversion of roof space to habitable use to include a rear dormer, 2 front rooflights and conversion of roof from hip to gable end. (Application for a Certificate of Lawful Development for a Proposed Development)

LBH Ref Nos: 66672/APP/2010/43

Drawing Nos:

1411/1

1411/2 A

Date Plans Received: 11/01/2010

Date(s) of Amendment(s): 19/02/2010

Date Application Valid: 11/01/2010

1. RECOMMENDATIONS

1.1 Recommendations

That a certificate of lawful use or development be **GRANTED** for the proposed development described above in respect of the land edged red on the attached plans for the following reasons:

The proposed development constitutes permitted development by virtue of the provisions of Schedule 2, Part 1, Class B and C of the Town and Country Planning (General Permitted Development) Order 1995 as amended by the Town and Country Planning (General Permitted Development) (Amendment) (No2) (England) Order 2008

This determination is based on your submitted plans. All measurements are taken from existing ground level.

INFORMATIVES

2.0 Planning Considerations

The application site comprises a semi-detached bungalow at Crosier Way in Ruislip. The site forms part of a large residential area within the settlement boundary of the Hillingdon Unitary Development Plan. The application site has not had permitted development rights removed.

The rear elevation of the application property is constructed from white render, red tiles and white UPVC. There have been no roof alterations to the dwelling but there is a rear extension (with corrugated iron roof) and 2 small sheds in the rear garden. It should be

noted that the existing rear extension (with the corrugated roof) is attached to a protruding single-storey hipped-roof element that is part of the original dwelling. The protruding single-storey hipped roof element of the building is part of the original dwelling as aerial photographs show that this design is prevalent on all the neighbouring dwellings.

The application relates to a flat roof dormer that is 7m in width and is set 0.25m below the ridgeline of the existing property.

3.0 Relevant Planning History

66672/APP/2010/44 52 Crosier Way Ruislip

Single storey rear extension.

Decision Date: 26-02-2010 Approved

4.0 ALL CLASSES

Is the dwelling a flat or a maisonette?

NO

Is there a planning condition removing permitted development rights?

NO

Is the building listed?

NO

CLASS B - Proposed Roof Alterations

Does the volume of the proposed, and any existing roof extensions, exceed the permitted development allowance?

NO

Does any part of the dormer project forward of the plane of a roof which forms a principle elevation and fronts a highway?

NO

Does any part of the extension encroach on the neighbouring property - including eaves and foundations?

NO

Would the dormer be higher than the highest part of the roof?

NO

Is the building Listed?

NO

Does the roof alteration include a Veranda, balcony or raised platform?

NO

Conditions to Class B: (If the answer to any of these questions is NO then planning permission is required):

Are the materials proposed similar in appearance to the property?
YES

Is the enlargement/dormer set in 20cm (200mm) from the roof margins?
YES

Are any side facing windows obscurely glazed?
YES

CLASS C - Any Other Alt. to the Roof of a Dwellinghouse

Would the alteration protrude more than 150 millimetres beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof?
NO

Would the alteration protrude more than 150 millimetres beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original?
NO

Would it result in the highest part of the alteration being higher than the highest part of the original roof?
NO

Would it consist or include the installation, alteration or replacement of a chimney, flue or soil and vent pipe?
NO

Would it involve the installation, alteration or replacement of solar photovoltaics or solar thermal equipment?
NO

NOTE: Installation of solar photovoltaics may fall within permitted development under Part 40 of Class A

5.0 Other including Measurements

Volume of dormer:

7m(w) x 2.7m(h) x 3.5m(d)

2 = 33.08m³

Volume of gable:

8.4m(w) x 3.1m(h) x 4.1m(d)

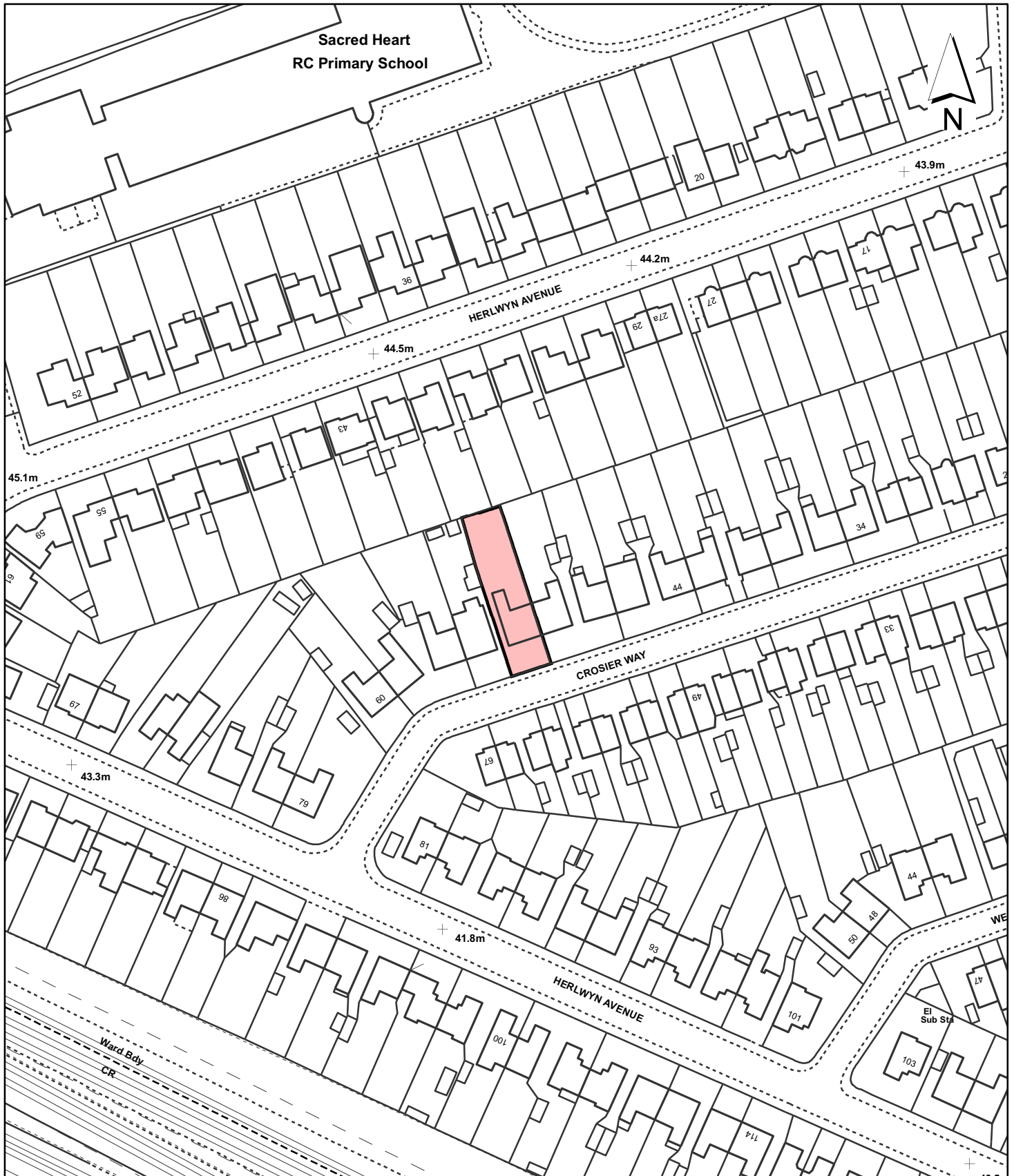
6 = 17.79m³

Volume of dormer and gable = 50.87m³


OVERALL VOLUME when taking into account loss of part of the roof of the main dwelling due to loss of part of the roof of the rear protruding element (which is part of the original dwelling) = 50.87m³ - 1.49m³ = 49.38m³.

Contact Officer: James Stone

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**52 Crosier Way
Northwood**

Planning Application Ref:

66672/APP/2010/43

Planning Committee

North

Scale

1:1,250

Date

March 2010

**LONDON BOROUGH
OF HILLINGDON**

**Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



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